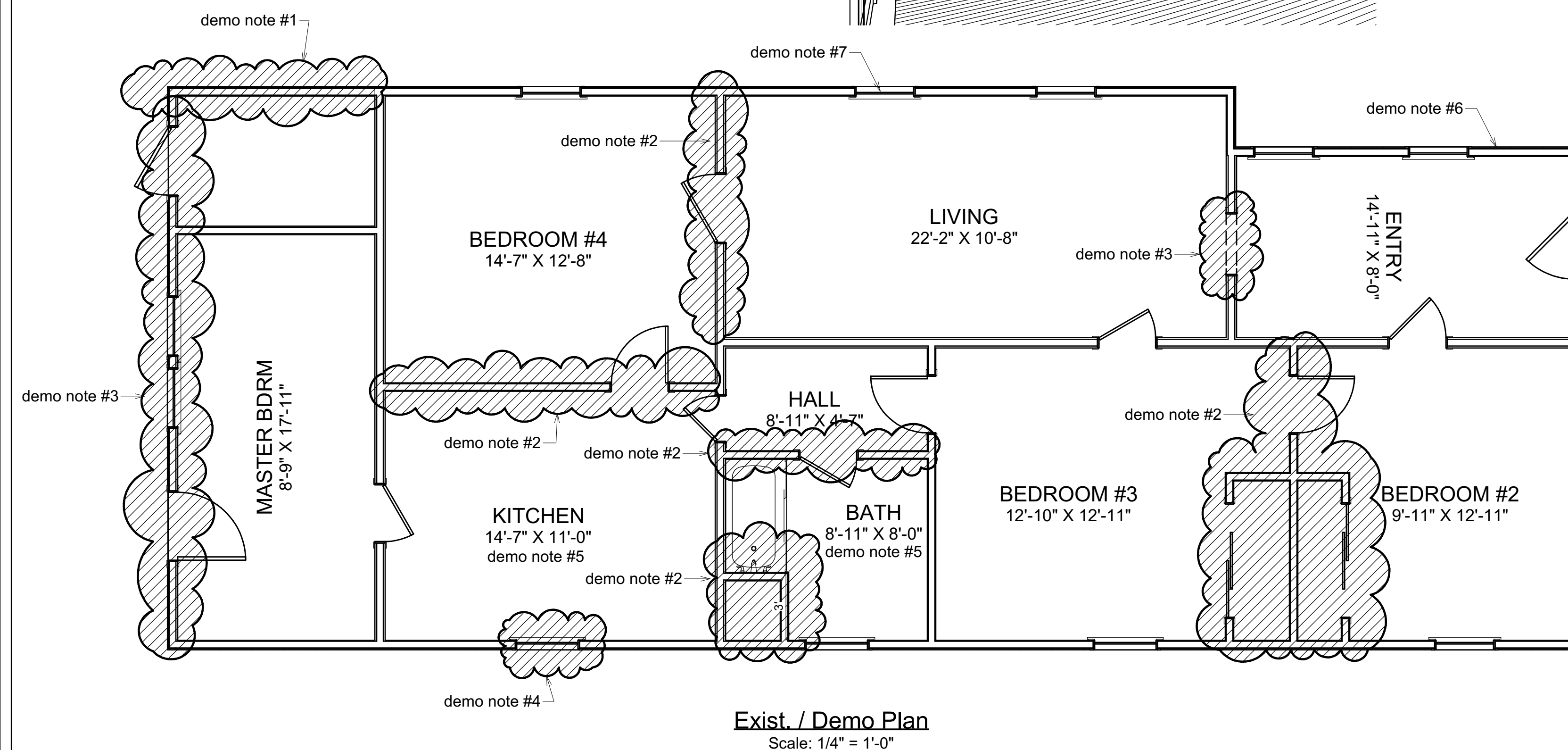
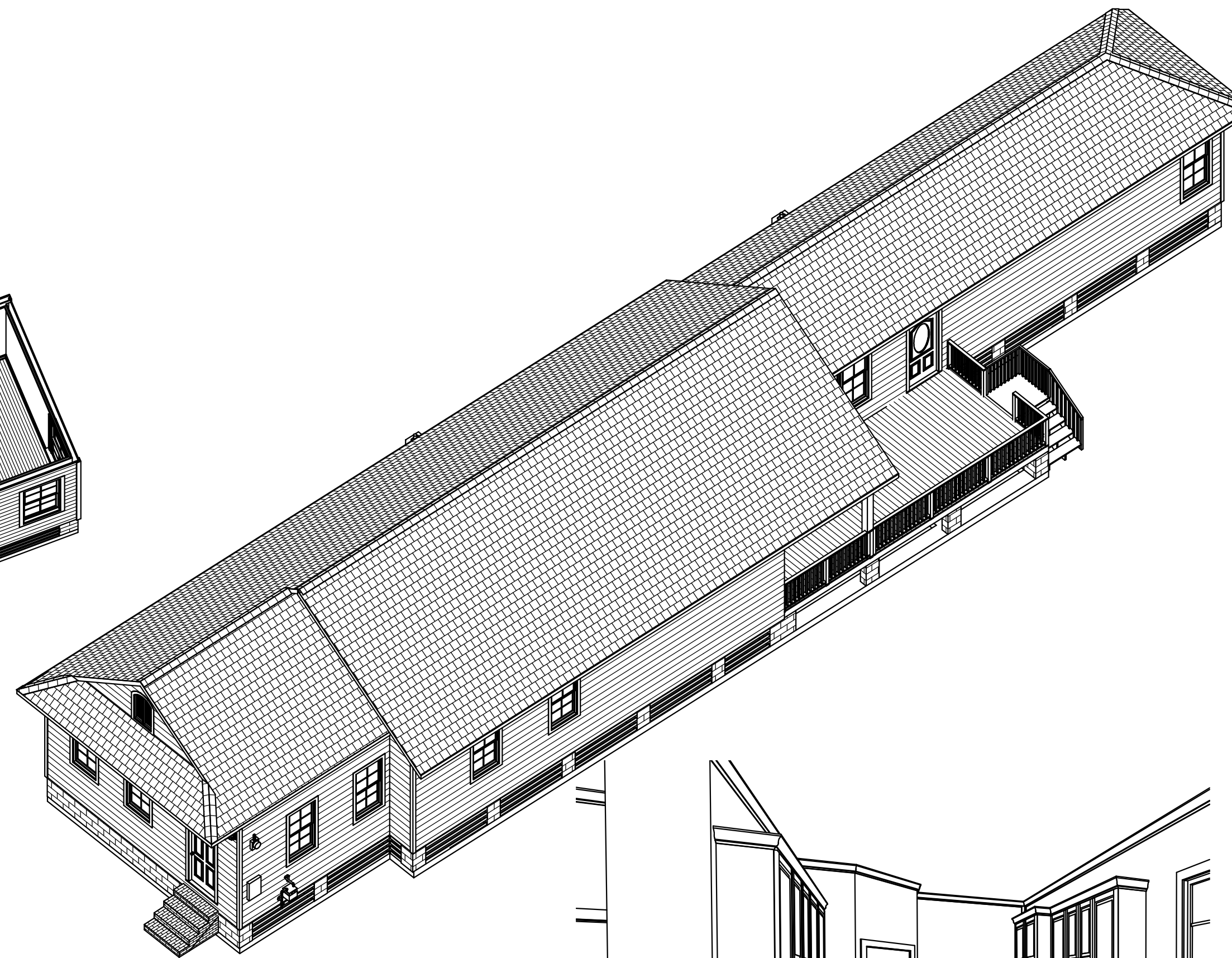
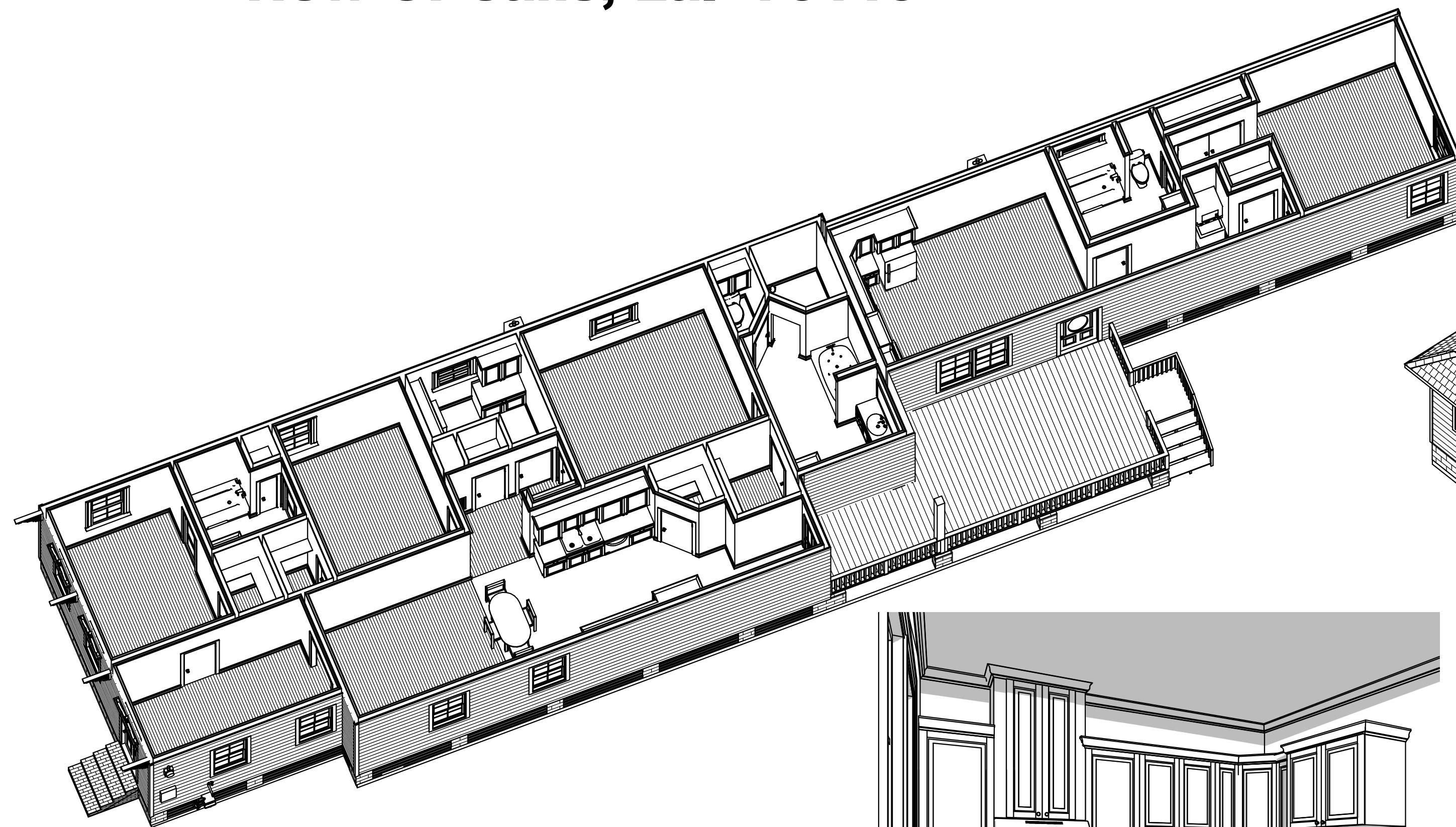


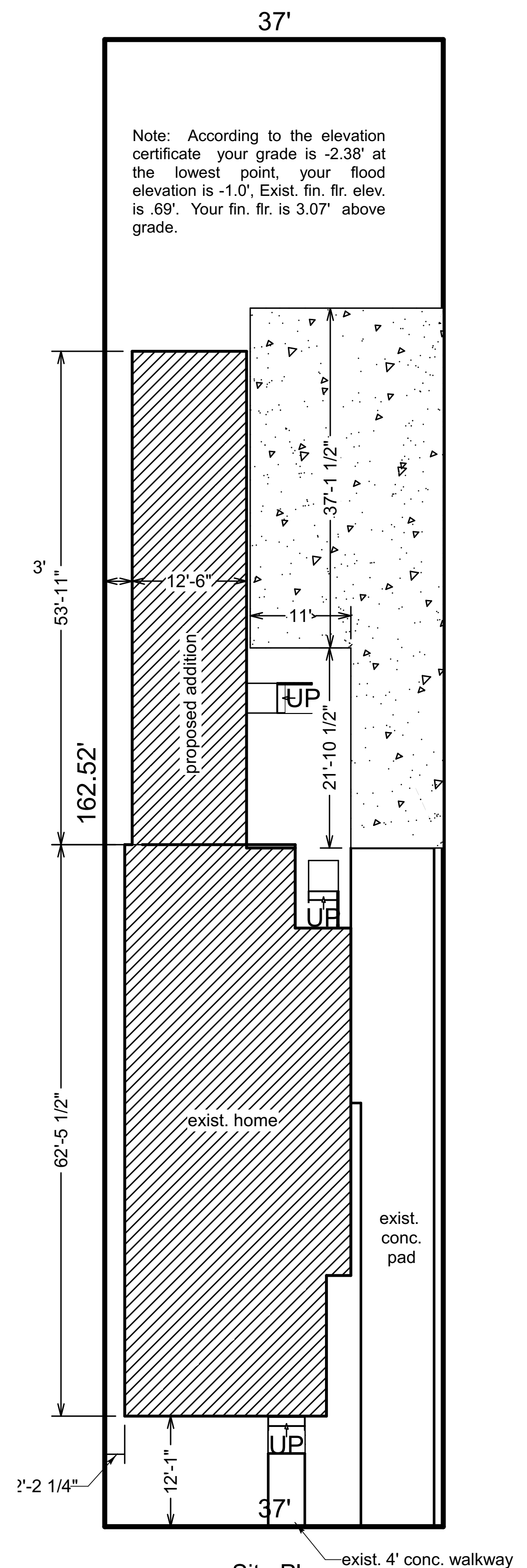
**New Orleans Restoration Properties  
Proposed Renovation & Addition  
2531 St. Ann Street  
New Orleans, La. 70119**



Exist. / Demo Plan  
Scale: 1/4" = 1'-0"

Demo Notes:

1. Contractor to remove ext. wall of storage. Contractor to prepare exist. storage to be new porch for new apartment addition.
2. Contractor to demo exist. walls.
3. Contractor to demo ext. exist. 2 x 4 wall. prepare to be new 2 x 6 1 hr. fire rated wall.
4. Contractor to remove exist. window and prepare opening for new window.
5. Contractor to remove all exist. kitchen / bathroom cabinets & fixtures.
6. Contractor to remove exist. siding and prepare for new hardie siding.
7. Contractor to remove exist. windows, and prepare for installation of new windows.
8. Contractor to demo all exist. plaster walls and prepare for new sheetrock.
9. Contractor to demo exist. flooring, prepare sub floor for installation of new flooring.
10. Contractor to level exist home and add new foundation piers as req'd.
11. Contractor to remove exist. shed roof over exist. master bedroom and storage area.
12. Contractor to demo exist. plumbing, hvac & electrical systems as req'd for installation of new systems.



Site Plan  
Scale: 1" = 10'-0"

2531 St. Ann Street  
New Orleans, La. 70119

INDEX OF DRAWINGS		
Sheet #	Sheet Ref.	Contents
1	A0	3-D Preview, Exist / Demo Plan, Site Plan
2	A1	Floor Plan, Cabinet Elevations
3	A2	Exterior Elevations, Roof Plan
4	E1	Electrical Plan
5	F1	Foundation Plan / Ceiling & Floor Joist Layout
6	M1	Plumbing & Mechanical Plan
7	S1	Sections & Details
7	S2	Wind Codes

New Plan - Construction Documents Revised 11/28/2018

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RENOVATION AND ADDITION FOR  
New Orleans Restoration Properties  
2531 St. Ann Street  
New Orleans, La. 70119



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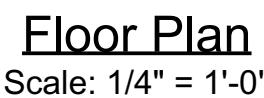
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G. Gayle

Sheet:

**A0**





5/8" type "X" ext. rated gypsum board  
 1/2" osb sheathing  
 hardie siding  
 batt insul.  
 5/8" type "X" gypsum board  
 2 x 4 studs @ 16" o.c.  
**UL-R305**  
 1 hr. fire rated exterior wall

1 x 6 casing w/  
slate molding

## Cabinet Elevations

Scale: 1/4" = 1'-0"

1. CABINET MAKER TO VERIFY ALL DIMENSIONS ON JOB BEFORE CONSTRUCTING CABINETS.
2. COUNTERTOPS TO BE GRANITE, BACK SPLASH TO BE GRANITE, 36" TALL
3. ALL CABINETS TO BE WHITE PAINTED POPLAR

7. SEE FASTENER CHART FOR FASTENER SPECIFICATION.
8. PROVIDE DOUBLE 2X6 STRONGBACK AT MID SPAN FOR CEILING JOISTS WITH SPAN GREATER THAN 10'-0".
9. PROVIDE COLLAR TIES AT UPPER 1/5 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOISTS AT 4'-0" O.C. MAXIMUM.
10. HIP, VALLEY RAFTERS, AND RIDGE BOARDS SHALL BE ONE "2x" SIZE LARGER THAN RAFTERS.
11. ROOF DECKING SHALL BE 1/2" CDX PLYWOOD MINIMUM.
12. WHERE PRE ENGINEERED FLOOR AND ROOF TRUSSES ARE USED, TRUSS MANUFACTURER SHALL PROVIDE SHOP DRAWINGS WHICH BEAR SEAL OF REGISTERED ENGINEER IN STATE IN WHICH WORK IS TO BE PERFORMED.
13. ALL SOLID FRAMING, COLUMNS, BEAMS, ETC. TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
14. DIMENSIONS AND SPACING DIMENSIONS ARE BASED ON 2 X 4 STUDS UNLESS OTHERWISE NOTED.

INTERIOR BRACING WALL - SHALL BE CONSTRUCTED USING METHOD 5 FROM R602.10.3  
SHEAR WALL - SHALL BE CONSTRUCTED USING METHOD 3 FROM R602.10.3  
USING 1/2" PLYWOOD OR 7/16" OSB / NORBOARD WINDSTORM

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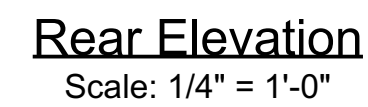
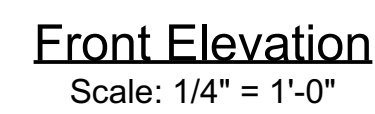
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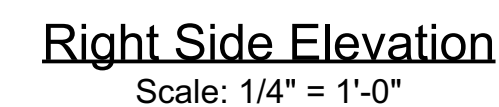


1. Contractor to install new roof over exist. roof structure



new roof to match exist. 8:12 is shown on drawings

1. EXTERIOR TO BE HARDIE SIDING, COLOR IS ROMAN COLUMN, TRIM TO BE SEMI GLOSS, SIDING TO BE SATIN
2. BASE AND WINDOW FLASHING @ BRICK TO BE 12" PVC MEMBRANE
3. ALL VENT PIPES SHALL PASS THROUGH THE GABLE ENDS
4. ALL SOFFITS TO BE PLYWOOD W/ VENTS AND EAVES TO BE PRIMED PALOMIA
5. ROOFING TO BE UNDERLAIN BY 30# FELT, 30 YR ARCHITECTURAL SHINGLE ROOFING
6. ALUMINUM DRIP EDGE WITH BAKED ENAMEL FINISH TO BE INSTALLED AT ALL ROOF EDGES
7. ALL WALL FLASHING AND VALLEYS TO 26ga. GALV. METAL COVERED WITH SHINGLES.
8. ALL PVC VENTS THROUGH ROOF TO BE SEALED WITH RUBBER BOOTS
9. ALL METAL PENETRATIONS TO BE SEALED WITH A 26ga. METAL SKIRTING AND BOOT
10. OPEN DECK TO BE NATURAL, TREATED WOOD FINISH.
11. CONTRACTOR TO PROVIDE ATTIC VENTILATION AS PER CODE.
12. EXIST. STRUCTURE HAS A 12" PLATE LINE WITH A FURRED DOWN 10" CLG HT. NEW ADDITION TO MATCH EXIST. STRUCTURE.



Architectural elevation drawing of a building facade. The drawing includes the following annotations and dimensions:

- Roof:**
  - roof pitch to match exist. 8:12 is shown on dwgs
  - 30 yr. arch. shingles over 30# felt
  - 1/2 circle ridge cap
- Left Section:**
  - hardie facia
  - hardie soffit w/ vents @ 96" o.c.
  - o.h. to match exist.
  - hardie siding
  - mini split condensor mtd to wall
  - gas tankless water heater @ 96" contractor shall relocate if req'd
  - condensor on platform, platform not shown for clarity
  - hardie trim @ corners, doors & windows
- Right Section:**
  - new casement egress window
  - gas tankless water heater @ 96" contractor shall relocate if req'd
  - new hardie siding, door and window trim on exist. structure
  - 1 hr. fire rated wall
- Dimensions and Notes:**
  - zero o.h.
  - 12' plate line
  - 10' clg ht.
  - 36.07' fin flr
  - 2.38' lowest grade elevation

Left Side Elevation

Scale: 1/4" = 1'-0"

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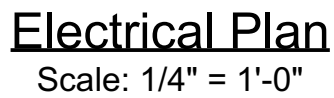


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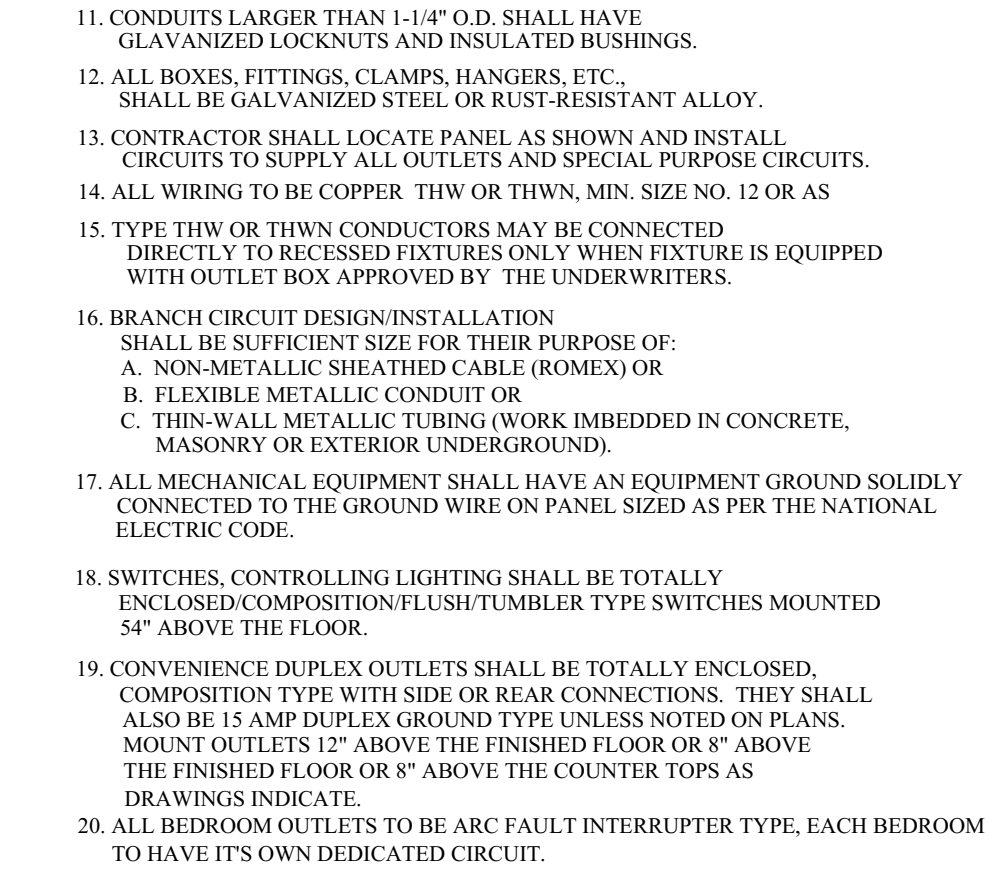


Note: All light fixtures to be LED type fixture

1. LED UNDER / OVER CABINET LIGHTS IN KITCHEN  
VERIFY W/ CONTRACTOR NOT SHOWN FOR CLARITY
2. CONTRACTOR TO PREWIRE FOR CAMERA AND  
SECURITY SYSTEM, FIELD LOCATE CAMERAS

SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE DWELLING UNIT IN THE BASEMENT AND ATTIC. DETECTORS SHALL NOT BE LOCATED IN CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS, A SMOKE DETECTOR NEED NOT BE INSTALLED ONLY ON THE UPPER FLOOR, PROVIDED THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL, EXCEPT THAT IF TWO FULL STORIES SEPARATE THE LEVELS, THE DETECTOR IS REQUIRED ON EACH LEVEL. THE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE AUTUATION OF ONE ALARM WILL ACTUATE ALL THE ALARMS IN THE INDIVIDUAL UNIT AND SHALL PROVIDE AN ALARM WHICH WILL BE AUDIBLE IN ALL SLEEPING AREAS. ALL DETECTOR TYPES ARE LISTED IN THE LISTING. DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

AREA SCHEDULE	
3 Bdrm Apt Living Area	1,487
1 Bdrm Apt. Living Area	578
Entry Porch	54
TOTAL UNDER ROOF	2,119



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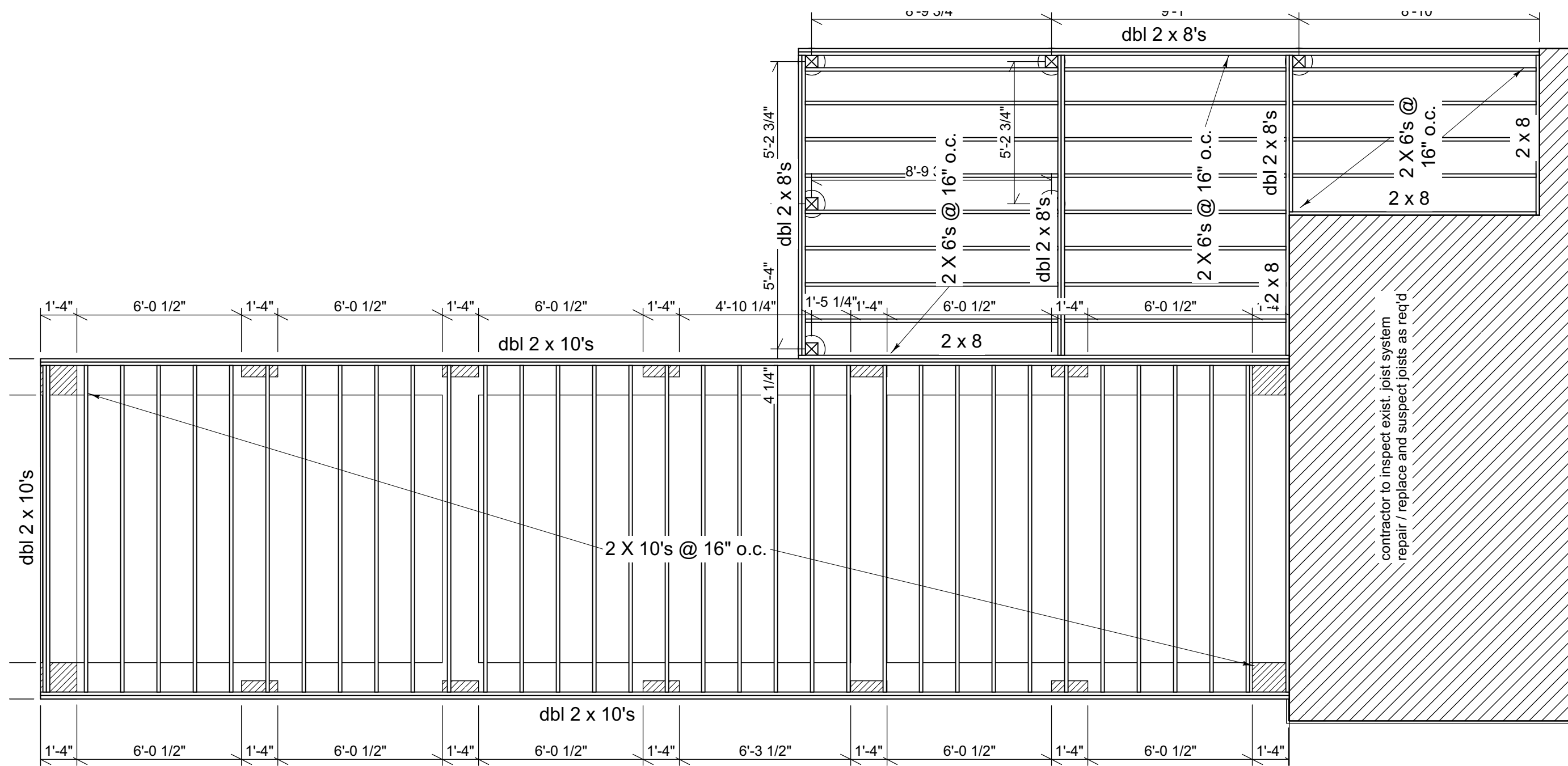
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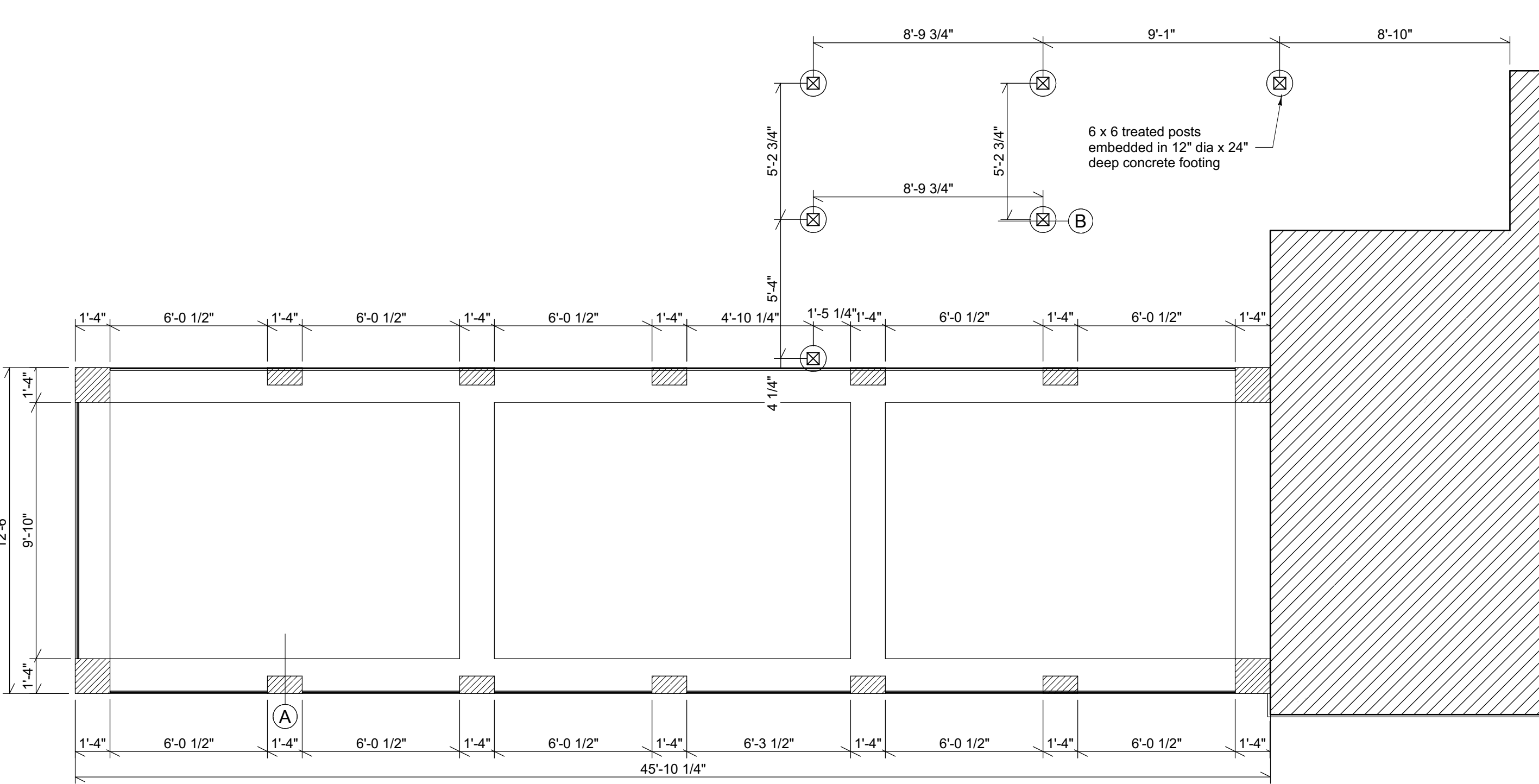
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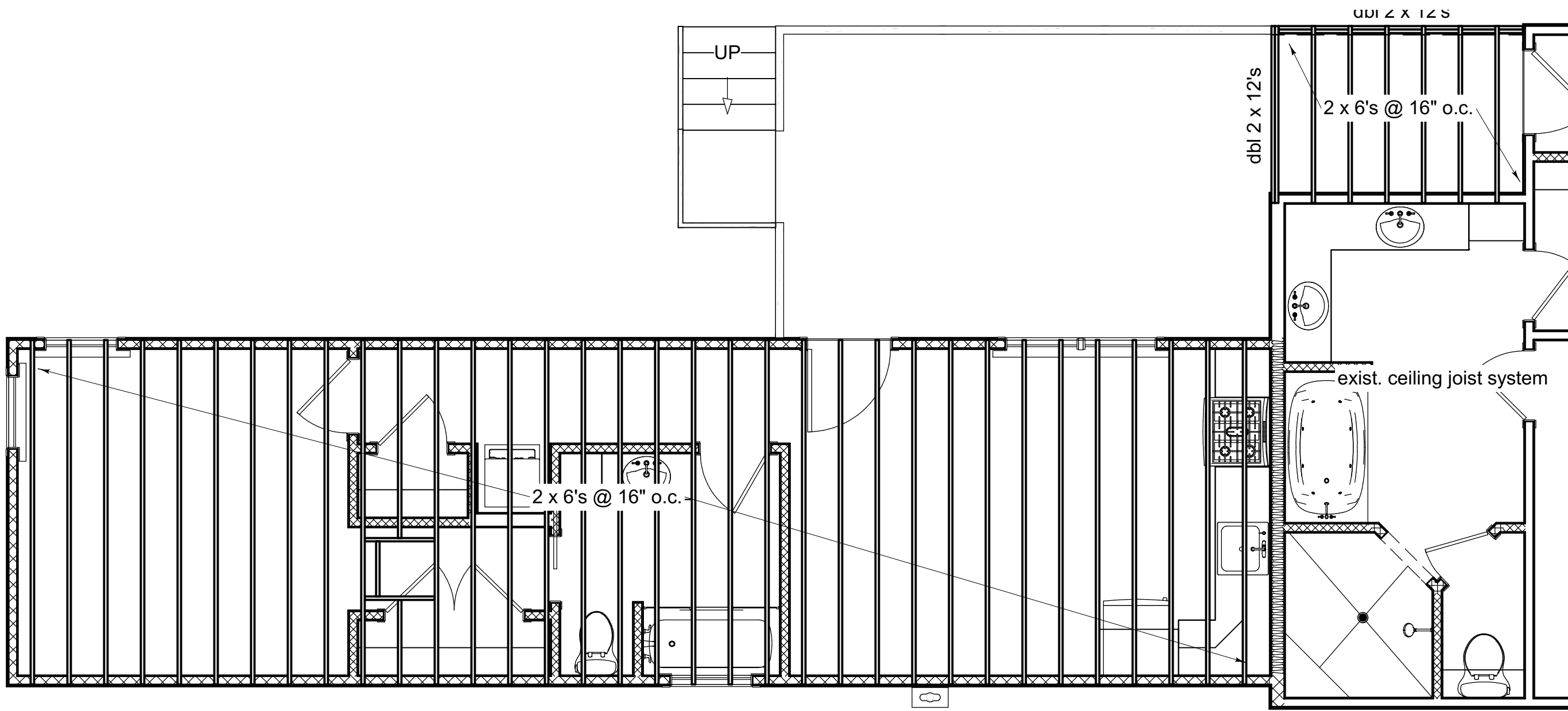


Floor Joist Layout  
Scale: 1/4" = 1'-0"

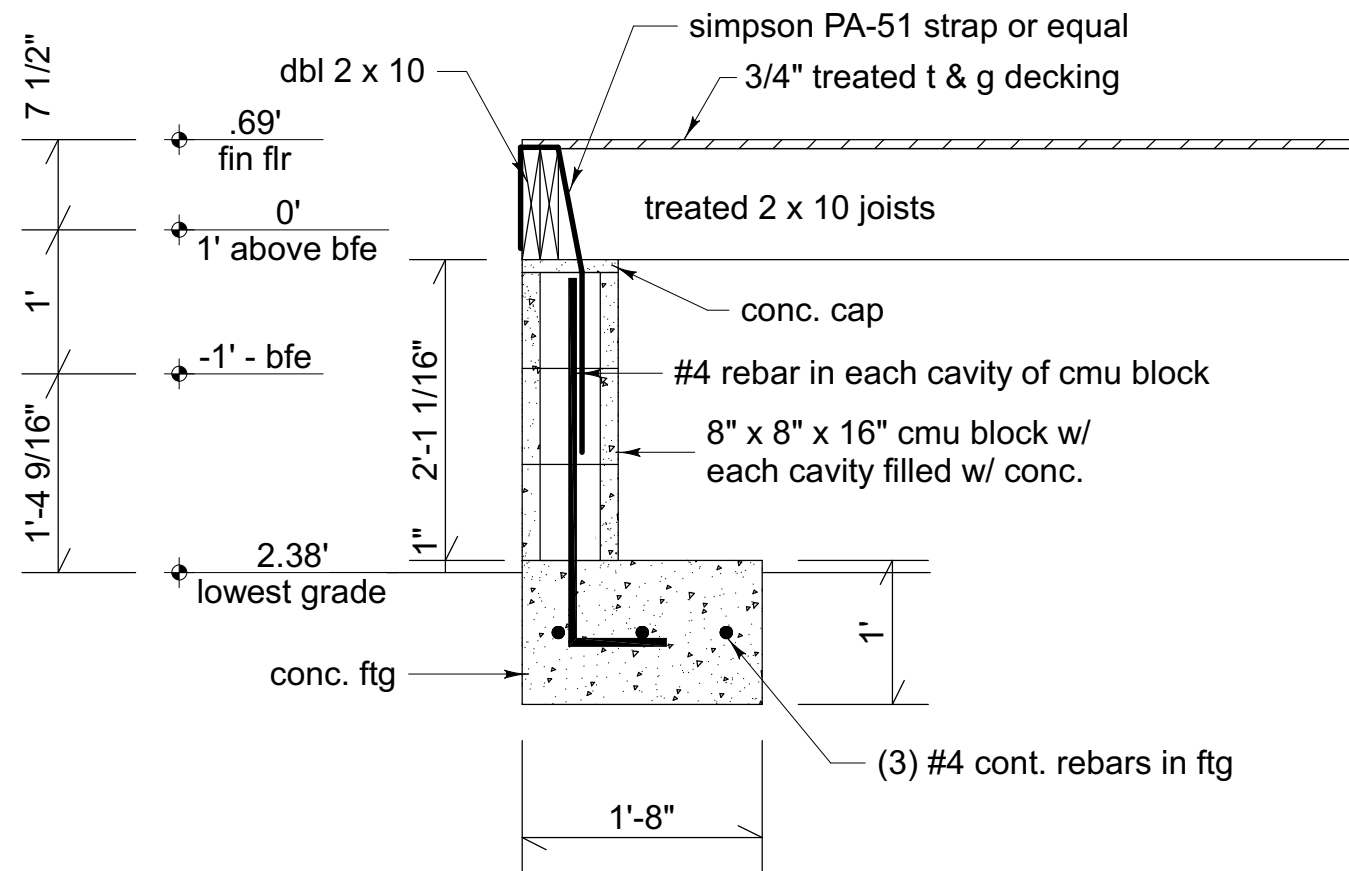
- Foundation Notes:**
1. Joist hangers and termite shields not shown for clarity
  2. Termite Shields to be located at each pier, sized accordingly
  3. Conc. to be min 3000# mix
  4. Contractor to install vapor barrier between exposed cavities of footing



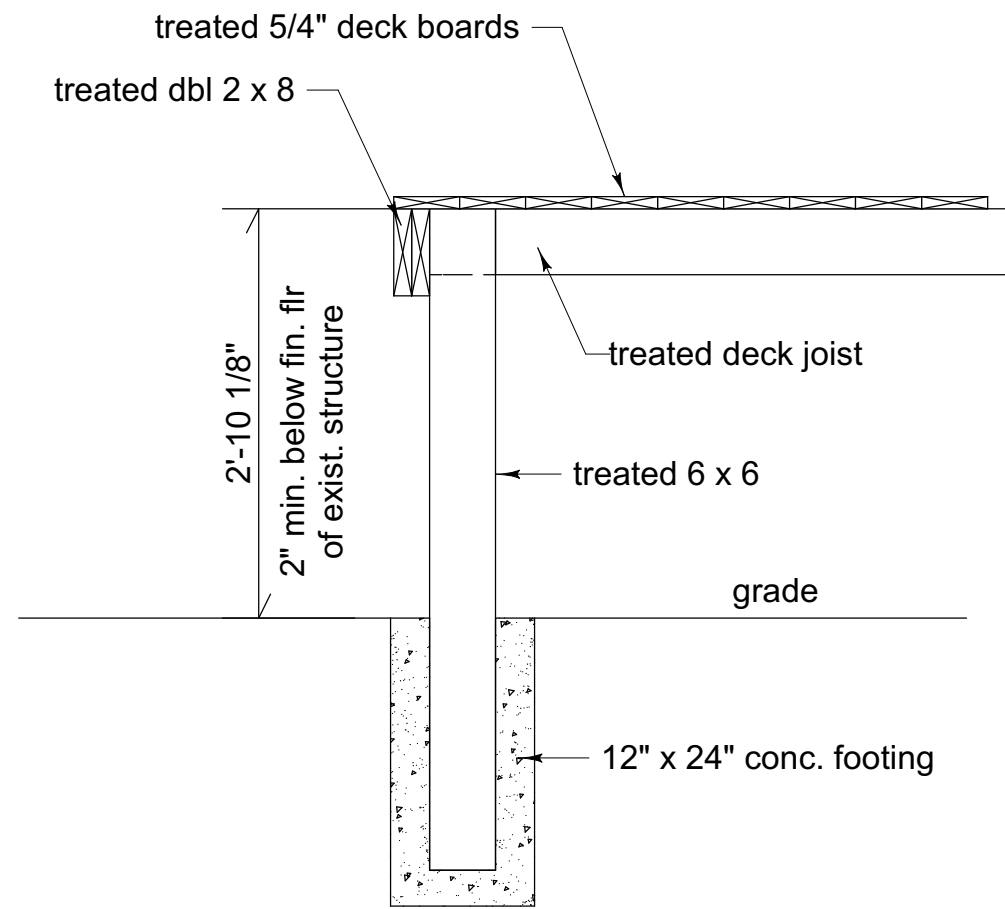
Foundation Plan  
Scale: 1/4" = 1'-0"



Ceiling Joist Layout  
Scale: 1/4" = 1'-0"



Foundation section A  
Scale: 3/4" = 1'-0"



Foundation section B  
Scale: 3/4" = 1'-0"

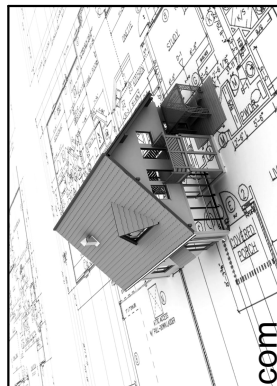
**PROTECTION AGAINST TERMITES:**  
Subterranean termite control. In areas favorable to termite damage as established by IRC, methods of protection shall be by chemical soil treatment, pressure-treated wood, naturally termite resistant wood or physical barriers (such as metal or plastic termite shields), or any combination of these methods. Chemical soil treatment. The concentration, rate of application and treatment method of the termiticide shall be consistent with and never less than the termiticide label.  
Pressure-treated and naturally resistant wood. Heartwood of redwood and eastern red cedar shall be considered termite resistant. Pressure-treated wood and naturally termite resistant wood shall not be used as a physical barrier unless a barrier can be inspected for any termite shelter tubes around the inside and outside edges and joints of a barrier.  
Field treatment. Field cut ends, notches, and drilled holes of pressure-treated wood shall be retreated in the field according to AWPAC M4.



DATE	REVISION TABLE
	DESCRIPTION

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New Orleans, La. 70119



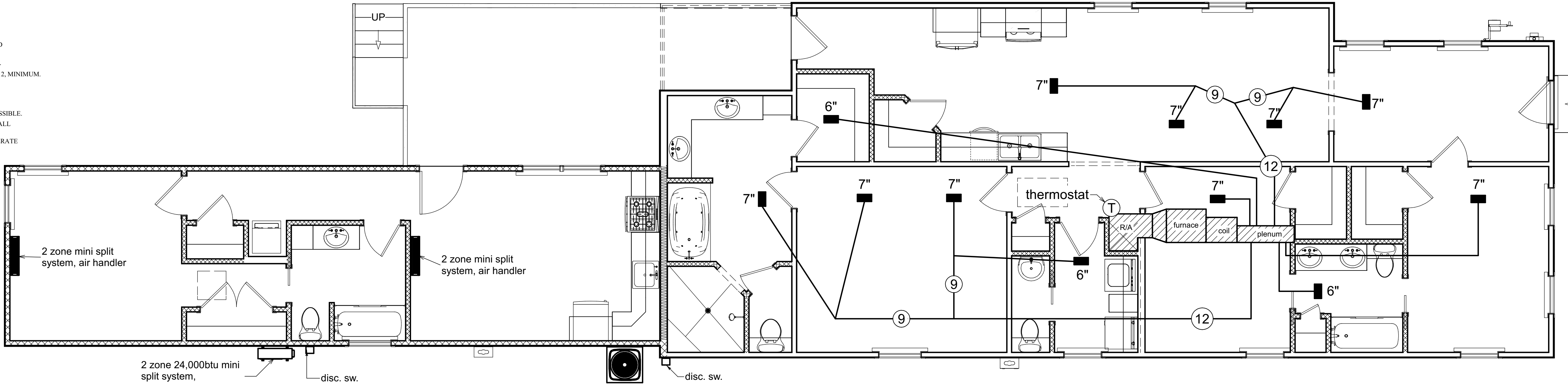
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Date:	09/04/2018
Scale:	As Shown
Drawn By:	G. Gayle
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PLUMBING GENERAL NOTES

1. ALL REVENTS TO BE ABOVE CEILING.
2. RUN GAS PIPING JUST ABOVE CEILING UNLESS SHOWN OTHERWISE.
3. PLUMBING CONTRACTOR TO SEAL ALL FIXTURES TO WALL AND/OR FLOOR WITH SILICONE SEALANT.
4. ALL PLUMBING TO BE INSTALLED TO PREVENT CONTAMINATION OF WATER SUPPLY BY PROVIDING BACKFLOW PREVENTION IN SUPPLY LINES TO: DISHWASHER, SERVICE SINK, & ALL HOSE BIBS OR WHEREVER REQUIRED.
5. PLUMBING DRAWINGS ARE SCHEMATIC AND ARE INDICATIVE OF METHOD AND GENERAL ROUTING; WHERE JOB INTERFERENCES DEVELOP, AND IF THE GENERAL CONTRACTOR DIRECTS, THIS CONTRACTOR SHALL RELOCATE HIS PIPING, ETC. AS REQUIRED TO CLEAR DUCTWORK, CONDUIT, ETC. AT NO EXTRA COST TO THE OWNER.
6. FURNISH AND INSTALL APPROVED VACUUM BREAKERS AT ALL HOSE BIB FAUCETS.
7. AT EACH WATER SUPPLY TO HOT WATER HEATERS, FURNISH AND INSTALL A CHECK VALVE.
8. NO VENT STACK TO BE LOCATED WITHIN 10' OF FRESH AIR INTAKES.
9. WHERE REQUIRED BY LOCAL CODE, GAS REGULATORS SHALL BE VENTED TO EXTERIOR IN ACCORD W/CODE.
10. PROVIDE AND INSTALL MIXING VALVE IN SUPPLIES AT SINKS INDICATED.
11. FACTORY INSTALLED INSULATION ON WATER HEATERS TO BE RATED R-12, MINIMUM.
12. GAS RISERS TO ROOF TO BE OF SINGLE PIECE ASSEMBLY WITH NO JOINTS & SLEEVED WHERE REQUIRED.
13. ALL PIPING AND PIPE TAKE-OFFS ARE SPACED FOR CLARITY, INSTALLED HORIZONTAL RUNS ABOVE CEILING AS CLOSE TO ONE ANOTHER AS POSSIBLE.
14. GAS LINES TO EACH GAS-USING APPLIANCE OR ITEM OF EQUIPMENT, SHALL CONTAIN AN ACCESS CUT-VALVE.
15. OWNER TO HAVE ZONED WATER SUPPLY TO HOUSE. EACH VALVE TO OPERATE ALL FIXTURES IN AREA ADJACENT TO ZONE VALVE.



Mechanical Plan

Scale: 1/4" = 1'-0"

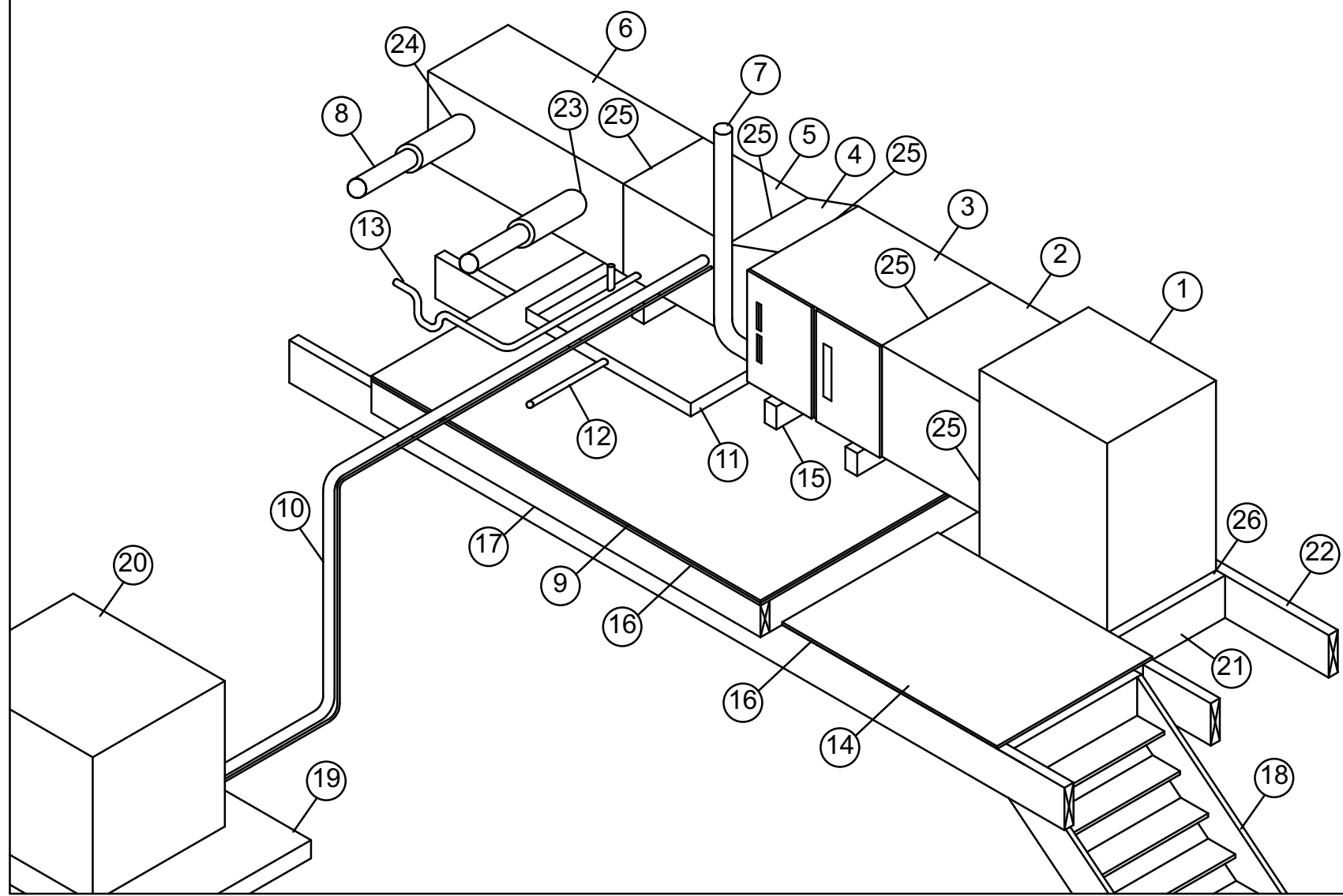
MECHANICAL NOTES:

1. DUCTWORK TO BE ROUND LOCKED SEAM, 28 GAUGE MIN. WITH 3" FOIL FACED FIBERGLASS OR FLEX-DUCT INSULATION WITH A MINIMUM R VALUE OF R6 OR FLEX-DUCT (SHOWN).
2. CONNECTIONS @ DUCT SECTIONS TO BE FASTENED WITH 3 S.T.S.M. SCREWS AND SECURELY TAPED.
3. DUCTS ARE TO BE SUPPORTED WITH STRAPPING MATERIAL SUSPENDED ON 8'-0" CENTERS, MAXIMUM.
4. RETURN AIR AND PLENUM DUCT TO BE INTERNALLY LINED WITH HIGH DENSITY FIBERGLASS.
5. ALL SUPPLY REGISTERS TO BE WHITE ENAMEL PAINTED METAL, CEILING MOUNTED 6"x12".
6. WHERE PRACTICABLE, PLUMB HOSE BIBS AND MAJOR WATER SERVICES IN PARALLEL.
7. DO NOT PLACE ANY VENTS, STACKS, ETC. ON FRONT ELEVATION.
8. LOCATE FAUCET & DRAIN ON TUB IN BATHROOMS AS PER CONTRACTOR.
9. PLUMBER & CONTRACTOR SHALL SUPPLY SEWER CONNECTION AS PER EAST BATON ROUGE PARISH CODE.
10. DUCTS ARE SHOWN DIAGRAMMATICALLY, CONTRACTOR SHALL VERIFY SIZES AND ACTUAL ROUTING SHALL BE FIELD VERIFIED.

PLUMBERS NOTE:

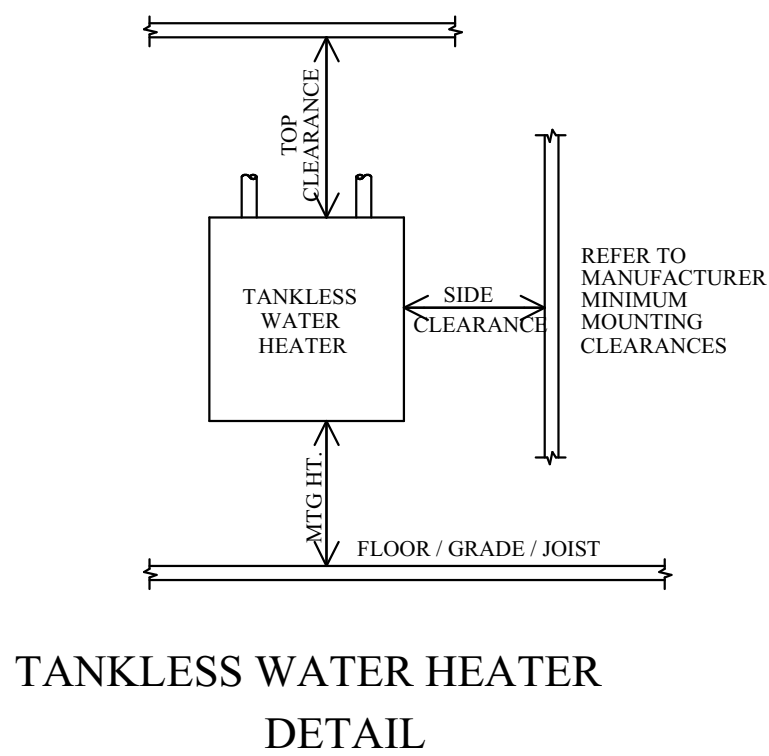
- 1) PLUMBER TO VERIFY ALL DRAIN SIZES ARE UP TO CODE BEFORE CONSTRUCTION.
- 2) PLUMBING SHALL CONFORM WITH ALL BUILDING CODES THAT ARE APPLICABLE WITH THE JOB.
- 3) ALL VENTS OR PIPES SHALL EXIT THROUGH GABLE END WALLS
- 4) A/C SHALL DRAIN TO PLUMBING.

TYPICAL ATTIC GAS UNIT INSTALLATION



TYPICAL ATTIC GAS UNIT INSTALLATION NOTES:

1. RETURN AIR DUCT W/ 1-1/2" DUCT LINER PINNED
2. RETURN AIR TAP DUCT W/ 1-1/2" DUCT LINER PINNED
3. GAS FURNACE & BLOWER
4. 12" LONG TRANSITION DUCT W/ 1-1/2" DUCT LINER PINNED
5. CASE COIL
6. 4" LONG PLENUM W/ 1-1/2" DUCT LINER PINNED
7. DOUBLE WALL VENT PIPE VENTED THROUGH ROOF
8. FLEX DUCT OR HARD PIPE W/ R6 INSULATION
9. 1/2" SHEETROCK
10. INSULATED REFRIGERANT LINES FROM CASE COIL TO CONDENSER
11. 2-1/2" DEEP SECONDARY DRAIN PAN W/ FLOAT SWITCH
12. SECONDARY 3/4" PVC DRAIN TO SOFFIT
13. 3/4" PVC COIL DRAIN PLUMBING VENT
14. 24" WIDE WALKWAY FROM ATTIC ACCESS STAIR TO UNIT PLATFORM
15. 6" METAL STANDS
16. 1/2" OSB DECKING
17. 2x6 FRAMED UNIT PLATFORM W/ 30" CLEAR WORK SPACE
18. ATTIC ACCESS STAIR
19. CONDENSER PAD
20. A/C CONDENSER
21. RETURN AIR DUCT FRAMING
22. CEILING JOISTS
23. 6" MIN. FROM COIL TO FIRST DUCT STARTING COLLAR
24. 6" MIN. FROM LAST DUCT STARTING COLLAR TO END OF PLENUM
25. 3" FOIL BACK UL LISTED MASTIC TAPE TO SEAL ALL UNIT TO DUCT CONNECTIONS
26. PAINT MASTIC PAINT ON THE INSIDE RETURN AIR DUCT & JOIST CONNECTION
27. GAS LINE, GAS COCK, AND UNION



TANKLESS WATER HEATER  
DETAIL

MECHANICAL EQUIPMENT:

NOTE: ALL APPLIANCES TO BE FRIGIDAIRE GALLERY SERIES

- QTY 2 - TANKLESS WATER HEATER
- 36" FRENCH DOOR STYLE REFRIGERATOR
- APARTMENT SIZED REFRIGERATOR
- 30" GAS RANGES W/ HOOD
- APARTMENT SIZED GAS RANGE
- QTY 2 - STAINLESS STEEL DOUBLE BASIN KITCHEN SINK, WITH SPRAYER, DISPOSAL & SINGLE LEVER FAUCET, STD. SIZE.
- QTY 2 - 30"x60" ACRYLIC TUB W/ SHOWER SURROUND
- 24" DISHWASHER
- WASHER & DRYER PROVIDED BY OWNER
- JOB BUILT CERAMIC TILE SHOWER
- 36" X 60" GARDEN TUB

HVAC NOTES:

16 SEER, 2-1/2 TON GAS FURNACE/ AIR CONDITIONER UNIT

COOLING CAPACITY: 30,000 btu's

HEATING CAPACITY: 50,000 btu's

RETURN AIR SIZE: 20"x30"

CONTRACTOR TO PROVIDE GAS TO THE FOLLOWING:

- TO BOTH RANGES
- TO BOTH TANKLESS WATER HEATERS
- TO FURNACE
- TO 2 NIPPLES ON BACK PORCH
- TO BOTH DRYERS
- TO BOTH GAS LANTERNS ON FRONT ELEVATION



AREA SCHEDULE	
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1 Bdrm Apt. Living Area	578
Entry Porch	54
TOTAL UNDER ROOF	2,119

New Plan - Construction Documents Revised 11/28/2018

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Date:  
**09/04/2018**

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**G. Gayle**

Sheet:  
**M1**

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1/1 APARTMENT ROOM FINISH SCHEDULE												
	FLOOR		WALLS		CEILINGS		CLG HT.		MOULDING			
NOTES:	1. CROWN MOULDING SHALL BE SIMILAR TO FINISHES AT ADJACENT ROOMS, UNLESS OTHERWISE NOTED. 2. CROWN MOULDING SHALL NOT RECEIVE CROWN.											
	6" WOOD PLANK											
	CARPET, BERBER, 1/4 PAD											
	CERAMIC TILE											
	BRICK											
	CONCRETE											
	STAINED CONCRETE											
	BY OWNER											
	SHEETROCK LIGHT TEXTURE											
	SHEETROCK SANDED											
	SHEETROCK TEXTURED											
	SHEETROCK ORANGEPEEL											
	BRICK											
	STUCCO											
	3/8 AC PLYWOOD											
	SHEETROCK SANDED											
	HARDY BOARD											
	SHEETROCK ORANGEPEEL											
	8 FOOT											
	10 FOOT											
	12 FOOT											
	SPECIAL											
	1" PICTURE MOLDING FOR CROWN											
	5/8" CROWN MOLDING											
	SHE DUTAIL SIT, AS											
	TRIPLE CROWN MOLDING											
	3/4" CASING											
	3/4" CHAIR RAIL											
	5/4" BASE W/ QUARTER RND											
	1 x 12 BASE & CAP											
LIVING ROOM	X									X		X
KITCHEN	X									X		X
MASTER BEDROOM	X									X		X
MASTER CLOSET	X									X		X
BATHROOM	X									X		X



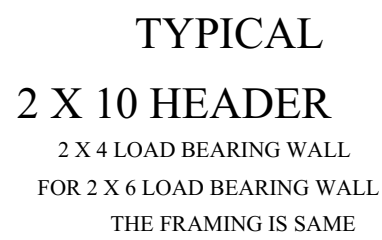
TO ALLOW FOR CONTINUOUS  
INSULATION INSTALLATION  
AT EXTERIOR WALLS



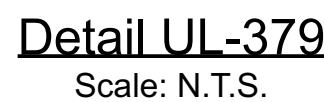
TURN STUD PERPENDICULAR  
TO CORNER STUD TO PROVIDE  
NAILING AT INSIDE CORNER  
AND ALLOW SPACE FOR  
INSULATION AT CORNERS.



2 X 4 LOAD BEARING WALL  
FOR 2 X 6 LOAD BEARING WALL  
THE FRAMING IS SAME



Scale: 1/2" = 1'-0"      Sht. A1

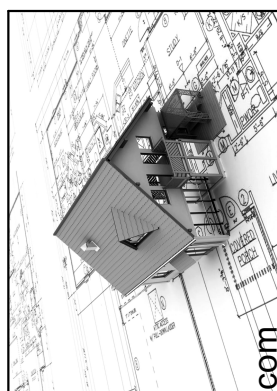


WHEN IN CONFLICT WITH ENGINEERED DRAWINGS THE ENGINEERED DRAWING SHALL TAKE PRECEDENT OVER THESE DRAWINGS.

REVISION TABLE	
DATE	DESCRIPTION

Contractors shall assume responsibility for all dimensions and conditions on the job. This draftman must be notified and consulted to any change in dimensions set forth on the drawings. All work shall be done in accordance with the specifications of the clients. Any reuse or reproduction of said documents by other than this draftman is strictly prohibited without written permission. Every effort has been made to specify structural data and dimensions. Contractor is responsible for verification of dimensions in the field and shall build home in accordance with the International Residential Code '09.

**Project:**  
RENOVATION AND ADDITION FOR  
New Orleans Restoration Properties  
2531 St. Ann Street  
New Orleans, La. 70119



**Cornerstone**  
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225-910-7994 [gene.gavle@cornerstone-dds.com](mailto:gene.gavle@cornerstone-dds.com)

Date:

09/04/2018

Scale:  
As Shown

Drawn By:  
G. Gayle

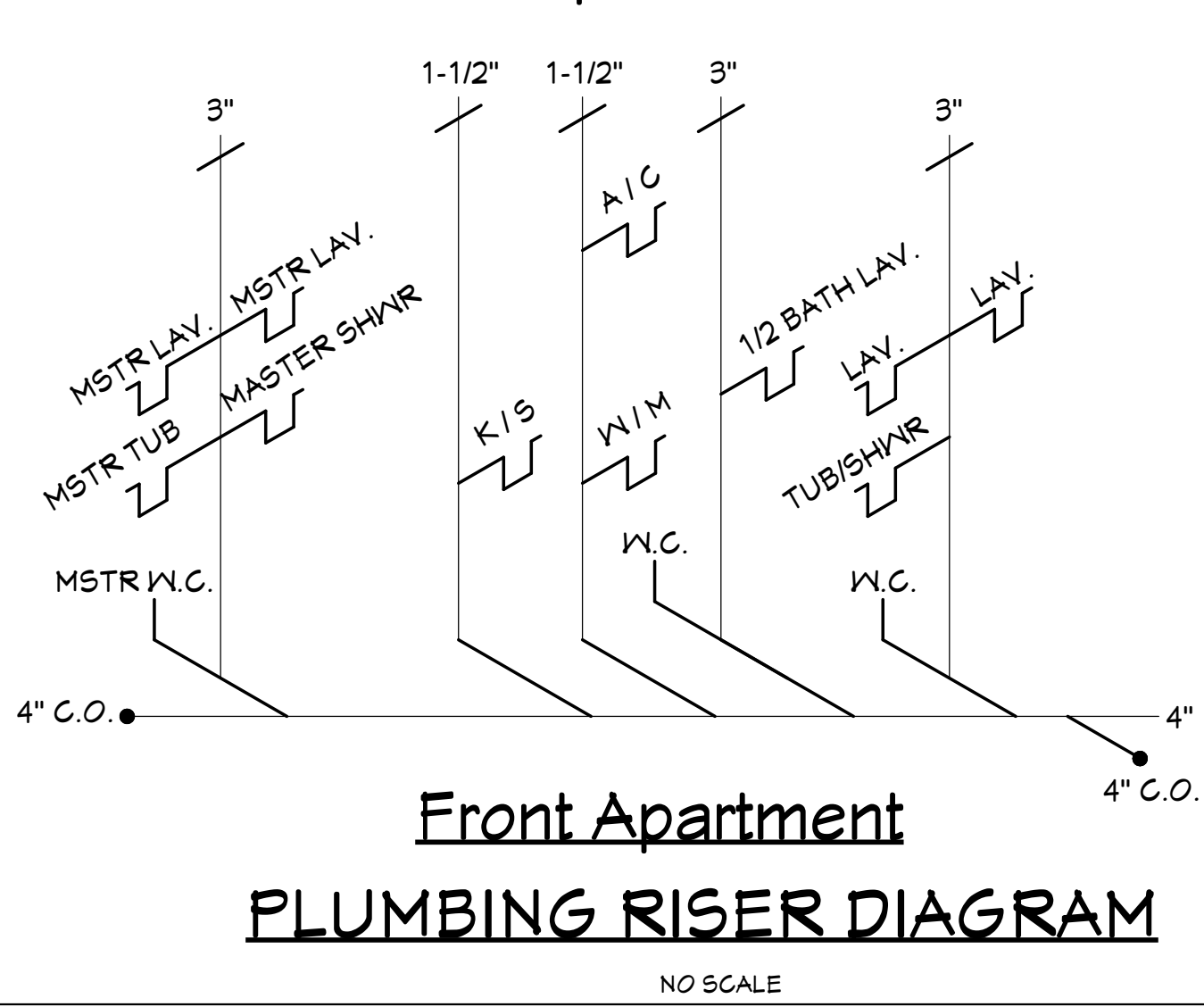
Sheet:

**S1**



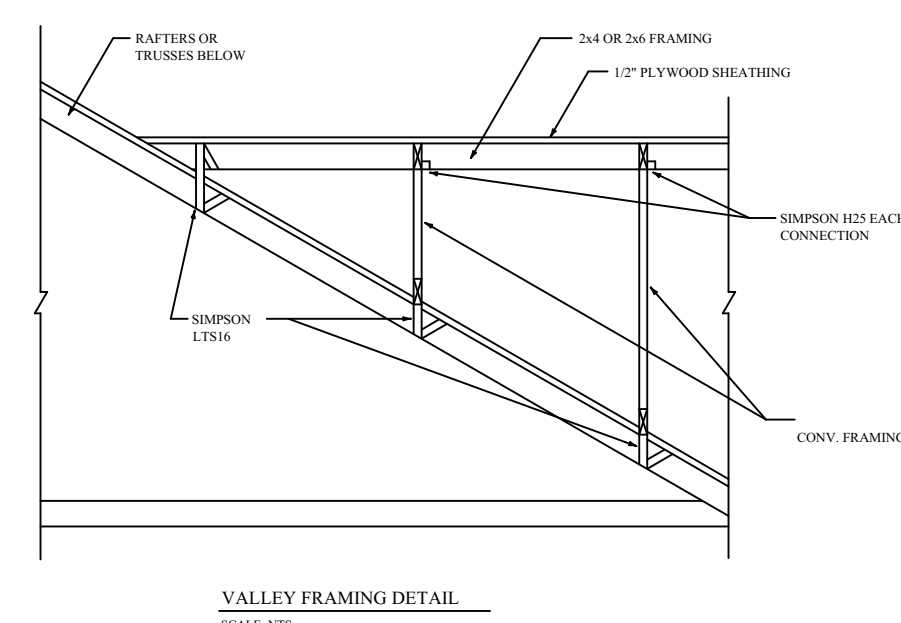
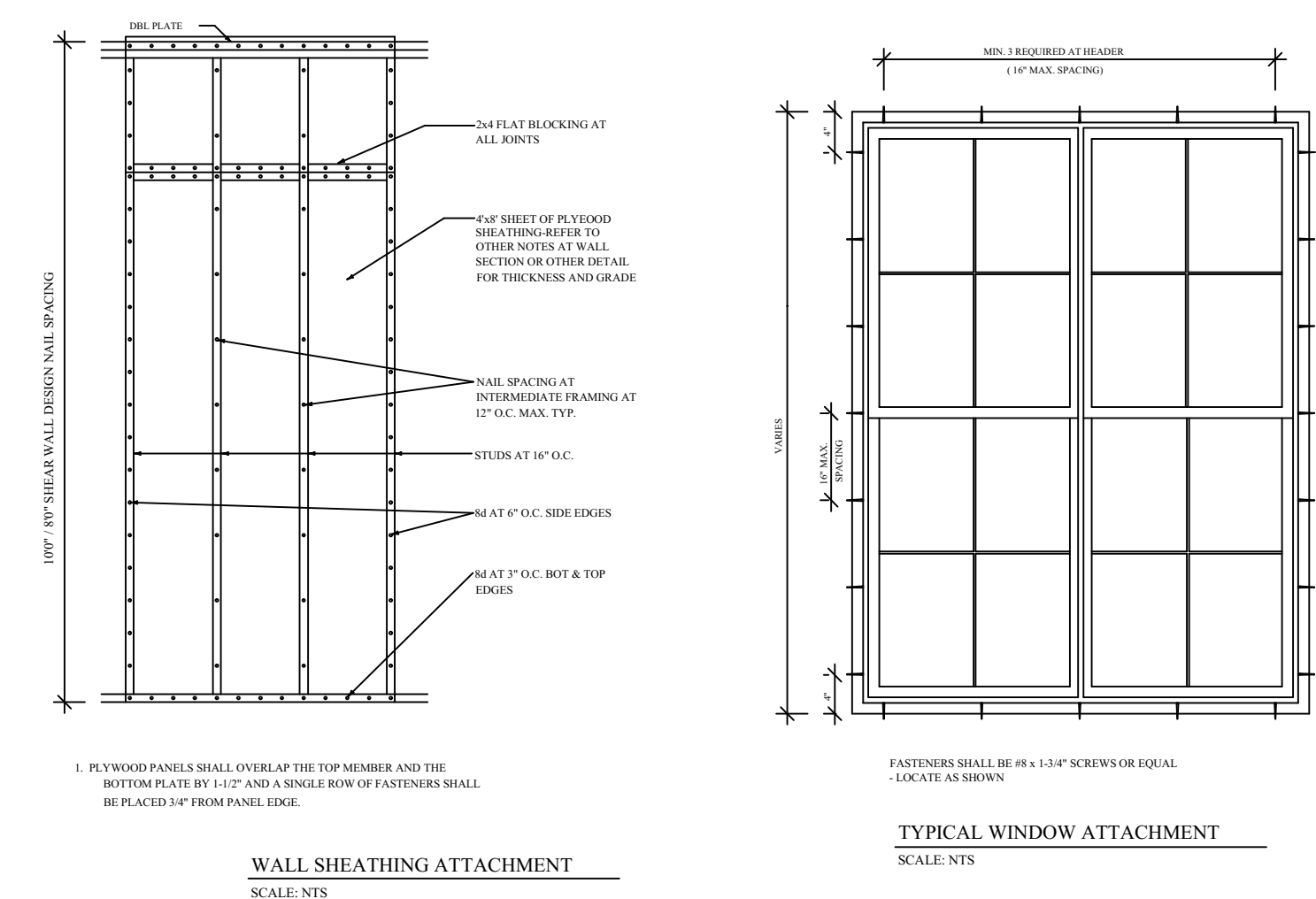
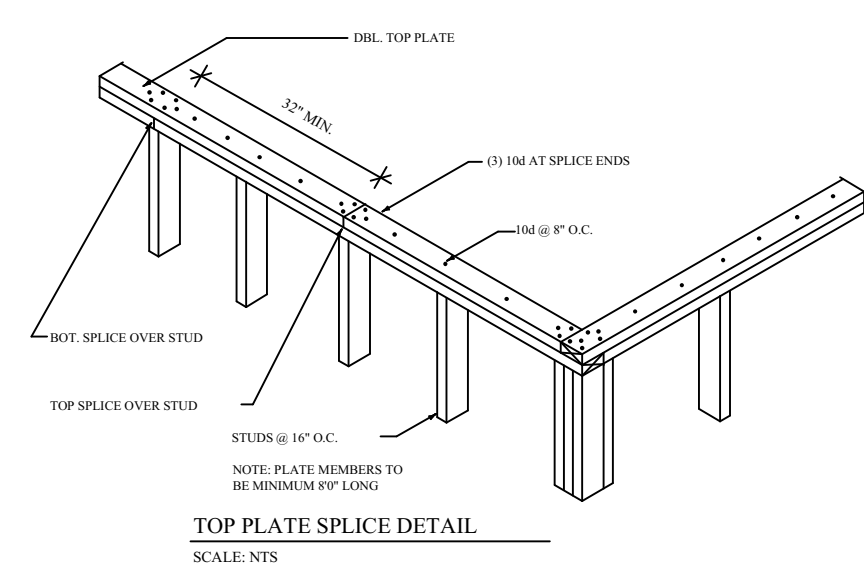
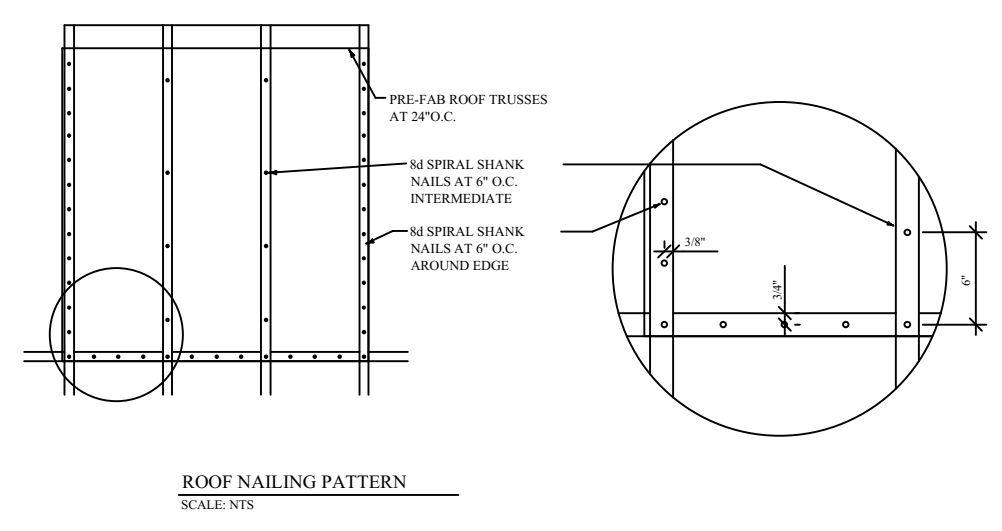
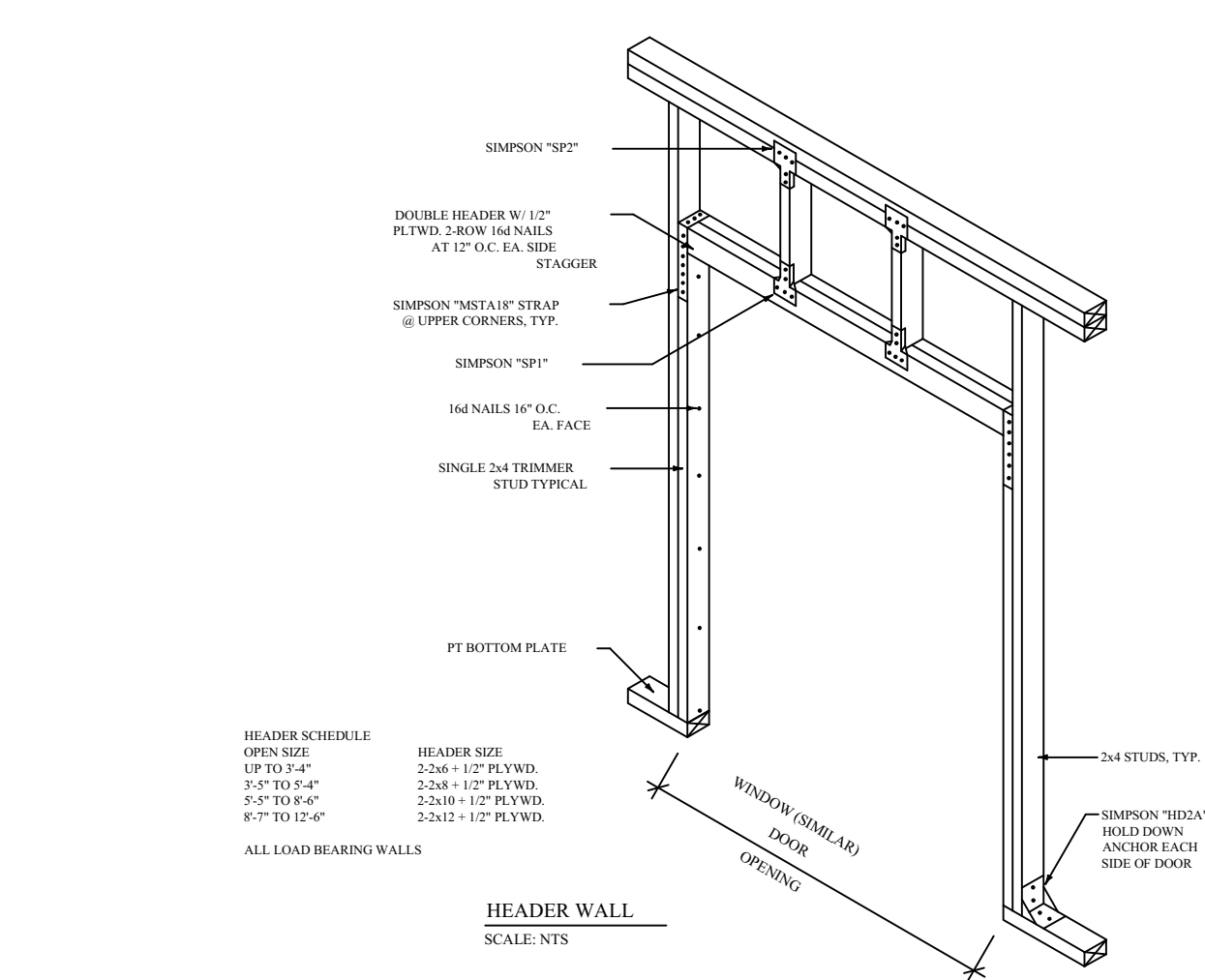
**FASTENING SCHEDULE NOTES:**

1. FIBERBOND SHEATHING MAY BE STAPLED USING 16 GA. GALVANIZED STAPLES 1-1/8" LONG FOR 1/2" SHEATHING AND 1-1/2" LONG FOR 25-32" SHEATHING. STAPLES ARE TO HAVE MINIMUM CROWN OF 7/16" AND SPACED 3" O.C. AT EDGES AND 6" O.C. AT OTHER BEARINGS.
2. DRYWALL NAILS SHALL CONFORM TO ASTM C 514.
3. CORROSION-RESISTANT NAILS SPACED 6" O.C. AT EDGE AND 8" O.C. AT INTERMEDIATE SUPPORTS. NAILS SHALL HAVE A MINIMUM EDGE DISTANCE OF 3/8".



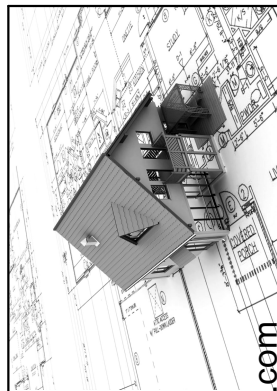
**SHEAR WALL NOTE:**

ALL NEW EXTERIOR WALLS ARE CONSIDERED SHEAR WALLS AND SHALL  
BE TOTALLY COVERED 1/2" PLYWOOD. MIN. 8D NAILS 3" O.C. BOTTOM,  
TOP & EDGES, AND 12" O.C. IN MIDDLE OF SHEET.  
DESIGNED TO EXCEED 135 MPH WINDS



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Date:  
09/04/2018

Scale:  
As Shown

Drawn By:  
G. Gayle

Sheet:  
**S2**

